

RESOLUTION NO. 3897

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING SITE PLAN REVIEW FOR MONARCH LTD. FOR THE CONSTRUCTION OF A COMMERCIAL BUILDING ON AMENDED TRACT D WITHIN THE SE1/4NE1/4 OF SECTION 34, IN TOWNSHIP 8 NORTH, RANGE 47 EAST.

WHEREAS, Monarch LTD. has requested that the City of Miles City approve the site plan review for a new commercial building to be built on Amended Tract D within the SE1/4NE1/4 of Section 34, in Township 8 North, Range 47 East, Custer County, Montana;

AND WHEREAS, a public hearing was held before the Planning Board on March 16, 2016, and the Planning Board has recommended that the City Council approve the site plan with certain conditions;

AND WHEREAS, the City Council is the final reviewing authority for site plan approval pursuant to Section 24-96 of the Code of Ordinances of the City of Miles City;

NOW THEREFORE BE IT RESOLVED by the City Council of Miles City, Montana, as follows:

1. The City Council of the City of Miles City does hereby adopt the "City Council Staff Report SPR-2016-03," attached hereto as Exhibit "A," as findings of fact; and
2. Based on the findings of fact, the City Council of the City of Miles City hereby **APPROVES WITH CONDITIONS** the site plan submitted by Monarch LTD. Said conditions are set forth in Exhibit "A."

SAID RESOLUTION FINALLY PASSED AND ADOPTED BY A DULY CONSTITUTED QUORUM OF THE CITY COUNCIL OF THE CITY OF MILES CITY, MONTANA, AT A DULY CALLED MEETING THIS 22ND DAY OF MARCH, 2016.


John Hollowell, Mayor

ATTEST:


Lorrie Pearce, City Clerk

CITY OF MILES CITY
MILES CITY PLANNING BOARD
P.O. BOX 910
MILES CITY, MT 59801

March 16, 2016

Mayor John Hollowell
City Council Members

RE: Site Plan Review for Monarch Dental Office, File # SPR-2016-03

The City Planning Board has reviewed the proposed development of the Monarch Dental Office and recommends to the City Council that the proposal be approved subject to the following conditions:

Prior to occupancy, the developer shall demonstrate compliance with the following conditions:

- ❖ Applicant understands that until the subdivision of the neighboring Tract C of the Lothspeich Minor Subdivision has received preliminary approval from City Council, the location of utility main lines is not final and is subject to change. Applicant also understands and accepts any and all responsibility to relocate any utilities constructed on Amended Tract D prior to subdivision preliminary approval, should such approval or conditional approval require the relocation of utilities.
- ❖ Any modification to the approved application and plans that affect building codes, zoning regulations or public facilities shall require additional review by the City of Miles City.
- ❖ The owner shall maintain adequate parking spaces as defined in the 2012 International Building Code.
- ❖ The owner shall comply with all applicable codes in the Miles City Code of Ordinances Section 15 concerning Public Nuisances.
- ❖ The owner or owner's representative shall apply for a building permit prior to start of construction.
- ❖ The water, sewer and other utilities connections shall be approved by the applicable service providers prior to construction.
- ❖ Any fire department requirements, such as fire hydrants, access plans/improvements, sprinkler systems, firewalls, and other fire code requirements shall be approved by the fire department prior to occupancy.
- ❖ A Certificate of Occupancy is contingent upon the application meeting all conditions of approval.

Respectfully,



Roxanna Brush, President
Miles City Planning Board

MONARCH LTD DENTIST OFFICE MILES CITY, MONTANA

PREPARED FOR:

MONARCH LIMITED LLC
P.O. BOX 1361
DILLON, MT 59725
CELL: 406-825-2228

SHEET INDEX

| SHEET NO. | TITLE |
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| C100 | COWH SHEET |
| C101 | LEGEND, ABBREVIATIONS, NOTES |
| C200 | OVERALL SITE PLAN |
| C201 | GENERAL LAYOUT PLAN |
| C202 | STANDARD PLAN |
| C203 | STANDARD DETAIL S |

PREPARED BY:



Brandon Duffey
Professional Engineer
2-12-16

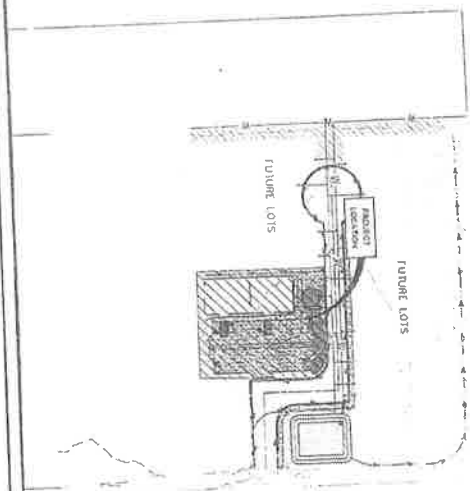
C100

VICINITY MAP MILES CITY, MONTANA



LYNAM SUBDIVISION

CUSTER COUNTY JUNIOR COLLEGE TRACT



GENERAL NOTES:

1. THE LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE AND THE CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEANS TO PROTECT EXISTING UTILITIES.
2. WHERE CONDITIONS ARE ENCOUNTERED WHICH APPEAR DIFFERENT FROM THOSE INDICATED ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE REPRESENTATIVE IN WRITING PRIOR TO THE PERFORMANCE OF WORK.
3. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS SIXTH EDITION, UNLESS INDICATED OTHERWISE ON THE CONTRACT DOCUMENTS. ORDER OF PRECEDENCE SHALL BE THESE PLANS FOLLOWED BY MONTANA PUBLIC WORKS IN CASE OF A CONFLICT BETWEEN REGULATORY OR STANDARD SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT WILL PREVAIL.
4. CONSTRUCTION SAFETY AND SANITATION FACILITIES SHALL BE PROVIDED BY THE CONTRACTOR AND MAINTAINED PER THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
5. THE CONTRACTOR SHALL PROTECT ADJACENT PRIVATE AND PUBLIC PROPERTY FROM DAMAGE DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ANY AND ALL UTILITIES IN THE AREA PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, INCLUDING BUT NOT LIMITED TO DETOURS, SIGNALS AND FLAGGING PERSONNEL. THE CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CITY AND STATE PERMITS BEFORE BEGINNING CONSTRUCTION.
9. ALL EXCAVATION SHALL BE PERFORMED UTILIZING TRADITIONAL EXCAVATION MEANS (BULDOZER, EXCAVATOR, ETC.).
10. ANY REMOVED STRUCTURES SHALL BE DISPOSED OF OFF THE SITE IN A LAWFUL MANNER.
11. THE CONTRACTOR SHALL PROVIDE A SET OF AS-BUILT DRAWINGS TO THE REPRESENTATIVE PRIOR TO THE FINAL ACCEPTANCE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, USING WATER OR OTHER METHODS APPROVED BY THE REPRESENTATIVE.
13. CONTRACTOR SHALL FIELD VERIFY INVERT ELEVATION, PIPE SIZES, LENGTHS, CONFIGURATIONS, AND MATERIAL BEFORE ORDERING.
14. THE CONTRACTOR SHALL REPLACE EXISTING FENCING AND ROADSIDE APPURTENANCES DISPLACED OR DAMAGED BY CONSTRUCTION.

GENERAL PROJECT LEGEND

| EXISTING ITEMS | | NEW ITEMS | |
|----------------------------------|----|-----------------------------|--------------------------|
| EXISTING CONTOUR (100' INTERVAL) | 0 | EXISTING LIGHT POLE | NEW DRAIN CONTOUR |
| EXISTING CURB & GUTTER | 1 | EXISTING ELECTRIC WETER | NEW DRAIN CONTOUR |
| EXISTING EDGE OF ASPHALT | 2 | EXISTING JUNCTION BOX | NEW BUILDING FOOTPRINT |
| EXISTING EDGE OF GRAVEL | 3 | EXISTING STORM CULVERT | NEW EDGE OF ASPHALT |
| EXISTING FENCE-BARRIAGE | 4 | EXISTING SAN. SEWER MAIN | NEW CURB AND GUTTER |
| EXISTING TRAFFIC SIGNAL | 5 | EXISTING SAN. SEWER MANHOLE | NEW FENCING - CHAIN LINK |
| EXISTING SIGN | 6 | EXISTING WATER MAIN | NEW SAN. SEWER MAIN |
| EXISTING GAS LINE | 7 | EXISTING GATE VALVE | NEW SAN. SEWER MANHOLE |
| EXISTING FIBER OPTICS LINE | 8 | EXISTING FIRE HYDRANT | NEW STORM SEWER MAIN |
| EXISTING TELECOMMUNICATION LINE | 9 | EXISTING BORE HOLE | NEW STORM SEWER MANHOLE |
| EXISTING PEDESTAL | 10 | PROPERTY BOUNDARY | NEW STORM SEWER MANHOLE |
| EXISTING OVERHEAD POWER | 11 | | NEW WATER MAIN |
| EXISTING BURIED POWER | 12 | | NEW GATE VALVE |
| EXISTING UTILITY POLE | 13 | | NEW FIRE HYDRANT |
| EXISTING UTILITY ANCHOR | 14 | | NEW CURB STOP |
| EXISTING STREET LIGHT | 15 | | |

COMMON ABBREVIATIONS

| | | | |
|---------|------------------|------|--------------------------|
| SD | STORM DRAIN | OPP | OVERHEAD POWER |
| PP | POWER POLE | UNK | UNKNOWN LOCATION |
| GA | GUY ANCHOR | INV. | INVERT ELEVATION |
| EOP | EDGE OF PAVEMENT | EL | ELEVATION |
| L/F | LINEAL FEET | TEL | TELEPHONE |
| TEL | TELEPHONE | CP | CORRUGATED METAL PIPE |
| INV. | INVERT | RCP | REINFORCED CONCRETE PIPE |
| CB | CATCH BASIN | FL | FLOWLINE |
| MANHOLE | | CL | CENTRELINE |

CAUTION !!!
EXISTING UTILITIES IN AREA
CONTRACTOR RESPONSIBLE FOR
UTILITY LOCATES PRIOR TO
AND DURING CONSTRUCTION

MONARCH LTD DENTIST OFFICE
MILES CITY, MONTANA
GENERAL NOTES, LEGEND
ABBREVIATIONS

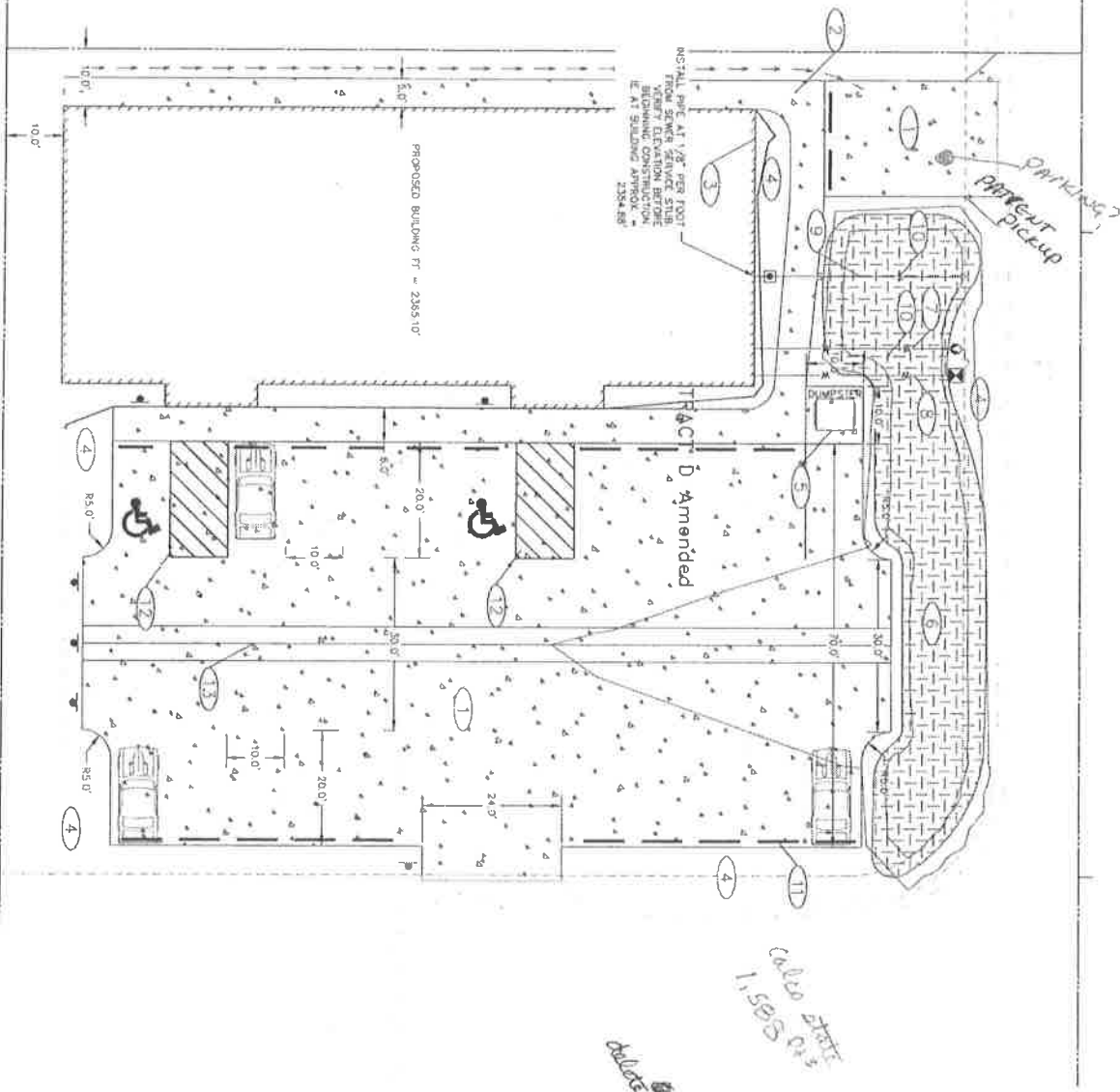
DOWL
www.dowl.com
2000 Stadium Drive
Bozeman, Montana 59715
400-686-4834

| REVISION | DATE | DESCRIPTION | BY |
|----------|------|-------------|----|
| | | | |
| | | | |
| | | | |

PROJECT: 22-2000-01
DATE: FEBRUARY 2018

C101

TRACT C-6
18,000 sq ft



CONSTRUCTION NOTES:

1. CONCRETE PAVEMENT (10.0' W) SEE DETAIL 2/C500 FOR JOINTS PER INDUSTRY STANDARD. MINIMUM SPACING FOR CONTROL JOINTS SHALL BE 12' O.C. EACH WAY.
2. CONCRETE SIDEWALK (1.582 ST) SEE DETAIL 2/C500.
3. GAS AND ELECTRICAL METERS AND PHONE UTILITY COMPANIES.
4. LANDSCAPE AREA.
5. DUMPSTER PAD AND ENCLOSURE (100 SF) CONCRETE SECTION PER DETAIL 2/C500 ENCLOSURE PER DETAILS 4, 5, & 6/C501.
6. STORM RETENTION POND- STORAGE VOLUME= 1158 CF TO SERVICE AS SNOW STORAGE AREA AS WELL. BOTTOM OF POND ELEV = 2382.10.
7. 1.5" WATER SERVICE LINE, CLASS 200, DN-7 PE PRESSURE PIPE PER WPMSS SECTION 02860 2.2E.
8. 4" FIRE SERVICE LINE, PVC DR 25, CLASS 165 PER WPMSS SECTION 02860 2.2E.
9. 12" WATER MAIN SERVICE LINE PER DETAIL 2/C500.
10. INSTALL 2" RIGID INSULATION BOARD AC RECOMMEND 4" COVER IS LESS THAN 8".
11. CONCRETE WHEEL STOPS PER DETAIL 3/C501.
12. LANDSCAPE PARKING STALL SEE DETAILS 3/C500 AND 3/C501.
13. 6" WIDE VALLEY GUTTER, SEE DETAIL 2/C501.



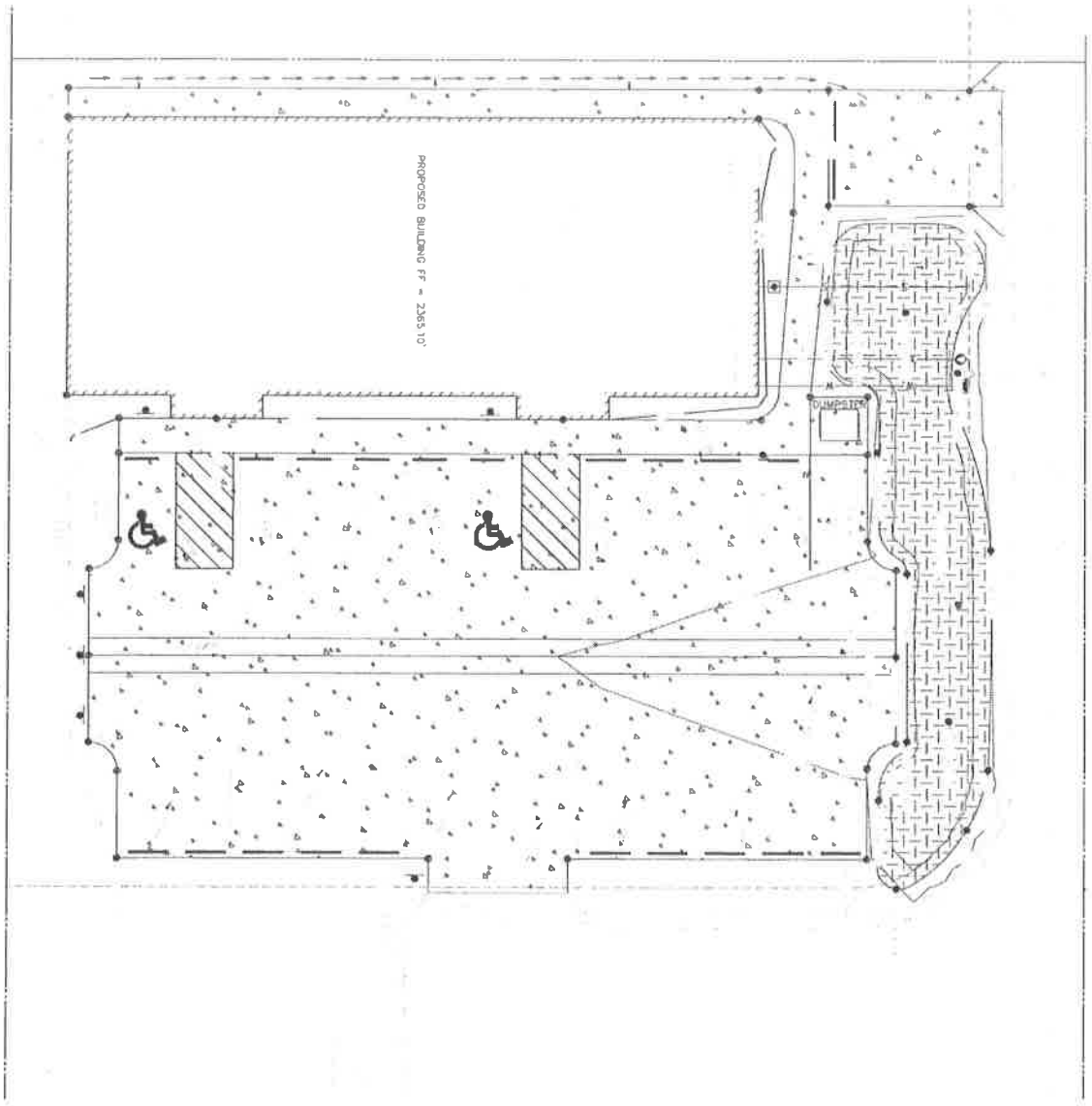
C200

MONARCH LTD DENTIST OFFICE
MILES CITY, MONTANA
OVERALL SITE PLAN

DOWL

2000 Stadium Drive
Bozeman, Montana 59715
406-586-8934

| REVISIONS | | DATE | DESCRIPTION | BY |
|-----------|------|------|-------------|----|
| REV | DATE | | | |
| | | | | |
| | | | | |
| | | | | |



0 10 20
SCALE IN FEET



C200

SHEET
PROJECT: MONARCH LTD DENTIST OFFICE
DATE: FEBRUARY 2018

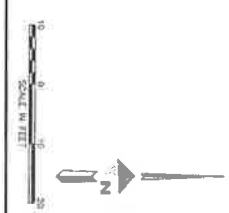
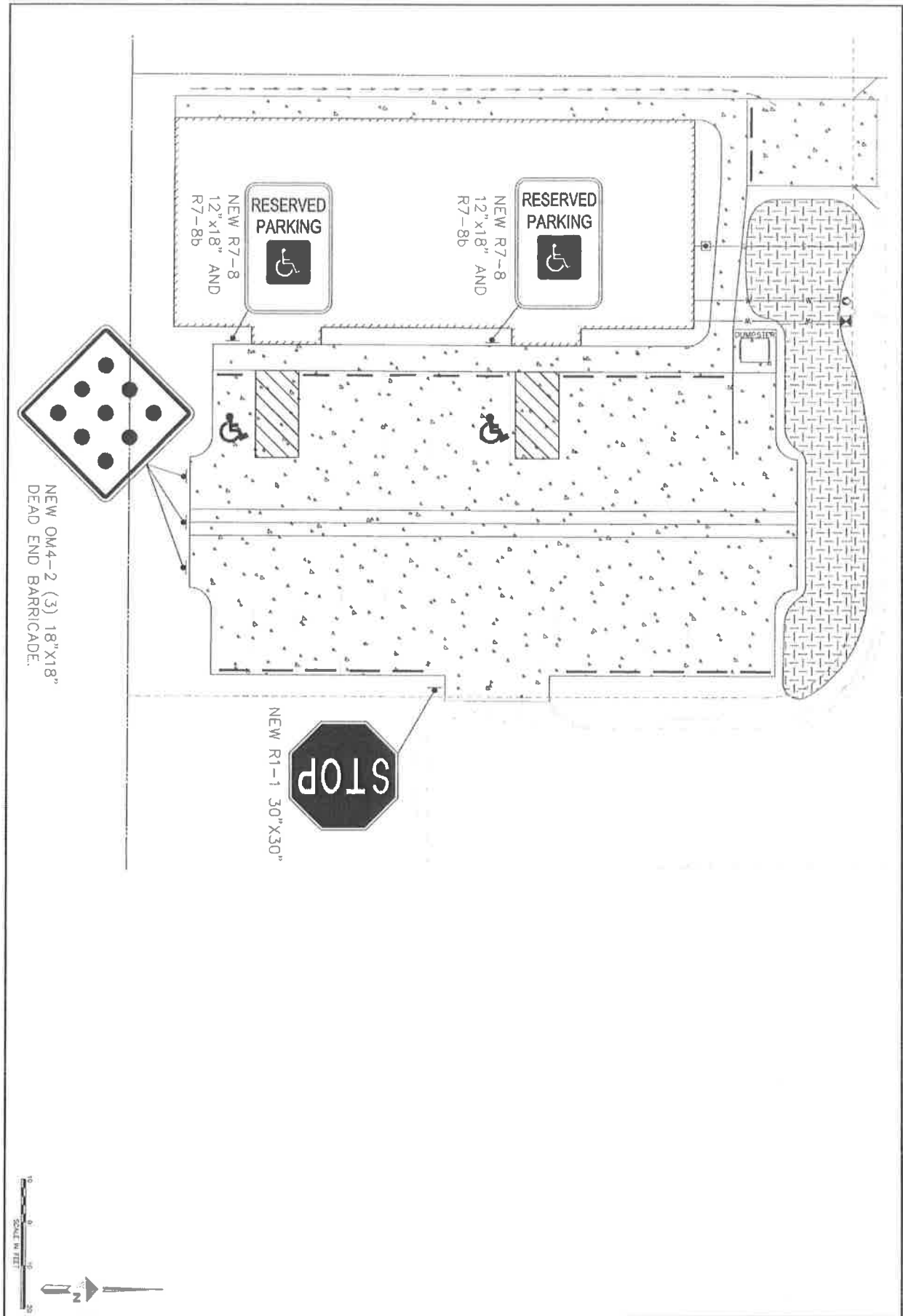
MONARCH LTD DENTIST OFFICE
MILES CITY, MONTANA
OVERALL GRADING PLAN

LEGAL DESCRIPTION
LOCATION:



2000 Stadium Drive
Bozeman, Montana 59715
406-550-8634

| REVISIONS | | | |
|-----------|------|-------------|----|
| REV | DATE | DESCRIPTION | BY |
| | | | |
| | | | |



| | | | | | | | |
|------|---|--|---|-----------|------|-------------|----|
| C202 | PROJECT 2/21/2020 DATE FEBRUARY 2018 | MONARCH LTD DENTIST OFFICE MILES CITY, MONTANA SIGNAGE PLAN <div>LEGAL DESCRIPTION LOCATION</div> | <div>DOWL www.dowl.com 2005 Stadium Drive Bozeman, Montana 59715 406-586-8634</div> | REVISIONS | | | |
| | | | | REV | DATE | DESCRIPTION | BY |
| | | | | | | | |

SHEET:
A-8

[illegible]

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| A-12 | Mechanical Plan |

P.O. Box 444
F.E. Ore Ill
Oreilles, MT 59725

PLAN WAVE

Miles Ortho

EXTERIOR ELEVATIONS

CITY OF MILES CITY
MILES CITY PLANNING BOARD
P.O. BOX 910
MILES CITY, MT 59301

March 16, 2016

Mayor John Hollowell
City Council Members

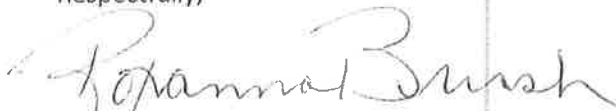
RE: Site Plan Review for Monarch Dental Office, File # SPR-2016-03

The City Planning Board has reviewed the proposed development of the Monarch Dental Office and recommends to the City Council that the proposal be approved subject to the following conditions:

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- ❖ A Certificate of Occupancy is contingent upon the application meeting all conditions of approval.

Respectfully,



Roxanna Brush, President
Miles City Planning Board

APPROVALS

By my signature below, I have reviewed and approve* of the site plan submitted by Dowl
for construction of the Monarch Dental Office, located in the Lothspeich Minor Subdivision on S. Haynes Ave.

Director of Public Works *Scott Gray* Date *2-9-16*
Comments or Conditions: *PROPERTY IS ZONED GENERAL COMMERCIAL*
AND IS COMPLIANT.

Director of Public Utilities *Deann Kelm* Date *2-16-16*
Comments or Conditions: *Service line - Copper from main to curb stop.*
Needs gravity flow to city main (No lift station if possible)
Will approve sewer plans upon subdivision final plat approval (still in design at this time)
may stub out & hook up to city services according to subdivision plans. If subdivision plans
change it's owner's responsibility to relocate.

Floodplain Administrator *Samantha Malenovsky* Date *2/11/16*
Comments or Conditions: *Structure is located outside zone AE, A LOMA was approved*
for the entire lot or Tract D.

Fire Chief *[Signature]* Date *2-19-16*
Comments or Conditions: *All decisions pending final approval of*
master plans and final walk thru after completion of
construction.

Historic Preservation Officer *Property is located outside of existing historic* Date *2/11/2016*
Comments or Conditions: *districts & zone properly. We have no issue with project.*

Planning Department *Compliant w/ all codes.* Date *2/26/16*
Comments or Conditions: *See Staff report for conditions*

Health and Sanitation *N/A* Date _____
Comments or Conditions: _____

Building Official *Kevin H. [Signature]* Date *2/23/16*
Comments or Conditions: *All Conditions have been met*

Police Department *[Signature]* Date *2/10/16*
Comments or Conditions: _____

As-Built Drawings Received on: _____

*With any conditions as noted

STORMWATER MANAGEMENT

RUNOFF CALCULATIONS FOR COMMERCIAL SITE DEVELOPMENT UNDER 5-ACRES

Input parameters in light blue

Total Required Storage: 10 year design storm

| Surface Type | Area (ft ²) | Area (Acres) | Runoff Coefficient (C)* | Frequency Factor (C _f) | C x C _f | Calculation Value (C') = (C x C _f) < or = 1 | C' x A (Acres) |
|------------------------------|-------------------------|--------------|-------------------------|------------------------------------|--------------------|---|----------------|
| Building/Roof | 5,888 | 0.14 | 0.95 | 1.00 | 0.95 | 0.95 | 0.12841 |
| Asphalt/Concrete | 11,193 | 0.26 | 0.95 | 1.00 | 0.95 | 0.95 | 0.24411 |
| Landscape | 7,753 | 0.18 | 0.30 | 1.00 | 0.30 | 0.30 | 0.0534 |
| Add other category as needed | | | | | | | |
| Totals | 24,834 | 0.57 | | | | | 0.43 |

*Input values for Runoff Coefficients (C) from 'Runoff Coefficients' tab

$$\text{Weighted Runoff Coefficient, } C_{wd} = \frac{SCA_j}{SA_j} = 0.7471 \quad C_{wd} \times C_f = 0.7471$$

Where C_f is the adjusted runoff coefficient for surface type /
and A_j is the area of surface type /
 $C_{wd} \times C_f \times SA_j = 0.4259$

Percolation Discharge Rate:

| Infiltration Area | | Rate | Discharge |
|-------------------|------------|---------|-----------|
| Length (ft) | Width (ft) | (in/hr) | (cfs) |
| 180 | 15 | 1 | 0.049 |

| Measured Perc. Rate | | Allowable* |
|---------------------|-------|------------|
| min/inch | in/hr | in/hr |
| 0 | 2 | 1 |

*Equals 50% of measured

| | Total Quantity | Total Quantity | Total Quantity | Total Quantity | Total Quantity |
|----------------------------|-------------------------------|--|---|--|--|
| Rainfall Duration, t (min) | Rainfall Intensity, I (in/hr) | Runoff Volume = C _{wd} x SA _j x t x 1 (ft ³) | Discharge Volume = d x t (ft ³) | Site Detention = Runoff Volume - Discharge Volume (ft ³) | Peak Flow = C _{wd} x A (ft ³ /sec) |
| 0 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 5 | 4.84 | 618.56 | 14.58 | 603.97 | 2.06 |
| 10 | 3.50 | 894.93 | 29.17 | 865.77 | 1.49 |
| 15 | 2.88 | 1105.50 | 43.75 | 1061.75 | 1.23 |
| 20 | 2.51 | 1282.86 | 58.33 | 1224.52 | 1.07 |
| 25 | 2.13 | 1360.80 | 72.92 | 1287.88 | 0.91 |
| 30 | 1.75 | 1342.40 | 87.50 | 1254.90 | 0.75 |
| 35 | 1.63 | 1457.91 | 102.08 | 1355.82 | 0.69 |
| 40 | 1.51 | 1543.52 | 116.67 | 1426.85 | 0.64 |
| 45 | 1.39 | 1598.46 | 131.25 | 1467.21 | 0.59 |
| 50 | 1.27 | 1622.74 | 145.83 | 1476.90 | 0.54 |
| 55 | 1.15 | 1616.35 | 160.42 | 1455.93 | 0.49 |
| 60 | 1.03 | 1579.29 | 175.00 | 1404.29 | 0.44 |
| 120 | 0.55 | 1686.62 | 350.00 | 1336.62 | 0.23 |
| 180 | 0.39 | 1793.95 | 525.00 | 1268.95 | 0.17 |
| 360 | 0.23 | 2115.94 | 1050.00 | 1065.94 | 0.10 |
| 720 | 0.16 | 2943.92 | 2100.00 | 843.92 | 0.07 |
| 1440 | 0.10 | 3679.90 | 4200.00 | ----- | 0.04 |

Water Quantity Storage: 1,477 ft³

Water Quality Storage:

$$WQV = \frac{(P)(Rv)(A)}{12}$$

Where:

WQV = Water Quality Volume, in acre-feet

P = Water Quality Rainfall Depth, inches (0.5-inches)

Rv = the unitless runoff coefficient, $Rv = 0.05 + 0.9(I)$

I = the percent impervious cover draining to the facility, in decimal*

A = total site area draining to the structure, in acres

* The percent impervious cover shall apply to the directly connected impervious area (the impervious area directly connected to the drainage point of interest).

P = 0.5
I = 0.69

Inches

Rv = 0.669026335

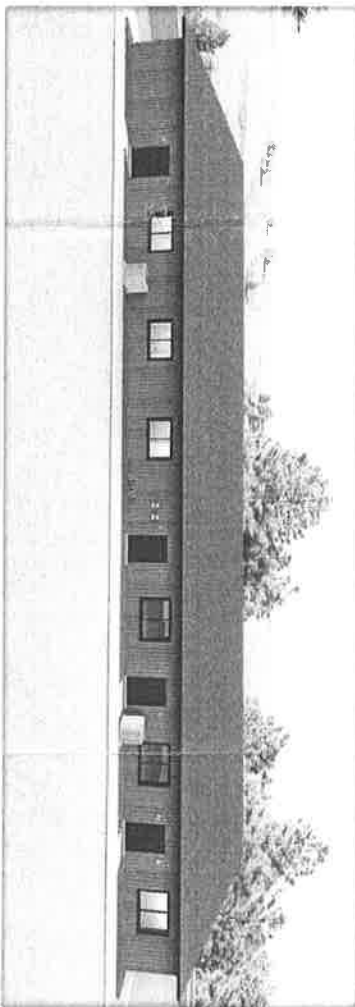
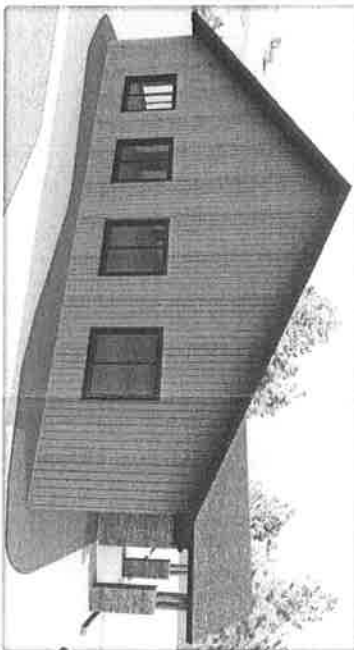
A = 0.57 acres

Water Quality Storage: 692 ft³

| | | |
|--|--------------------------------|-----------------------|
| These are the volumes that must be mitigated | Water Quality Storage | 692 ft ³ |
| | Total Required Storage | 1,477 ft ³ |
| | Total Storage Provided On-Site | 1,588 ft ³ |

The storm data is based on MDT hydraulics manual. The proposed pond will retain all of the 10-year event. Larger storm events that exceed the 1,588 CF capacity, will overtop the curb at the NE corner of the site and sheet flow across the road and into the subdivisions retention

DO NOT SCALE DRAWINGS



Types of Users

Users of the computerized database can be divided into three categories: (1) users who are interested in the general information of the database, (2) users who are interested in the specific information of the database, and (3) users who are interested in the specific information of the database and who are also interested in the general information of the database. The first category of users is the general public, who are interested in the general information of the database. The second category of users is the specific users, who are interested in the specific information of the database. The third category of users is the specific users who are also interested in the general information of the database.

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**City Council Staff Report SPR-2016-03 Site Plan Review
Monarch Dental Office
Meeting Date: March 22, 2016**

PROJECT SUMMARY:

Quinn Wright of Dowl, on behalf of the Monarch LTD, submitted a Site Plan Review application for the construction of a new 5,760 sq. ft. dental office building on February 2, 2016. The building is located at 205/305 S. Haynes Ave in the Lothspeich Minor Subdivision. The legal description is the SE1/4NE1/4, Sec 34, T08N, R47E, Amended Tract D. See attached maps for location and site plans.

This Site Plan Review is being completed prior to a proposed six lot major subdivision of Tract C in the Lothspeich Minor Subdivision. A proposed internal street will serve the new lots and Amended Tract D, which is the subject of this Site Plan Review. The subdivision will address utilities, fire protection and traffic impact.

Significant dates and review items are noted below:

- The applicant has submitted all the required information per 24-96(e).
- The applicant was notified that the application was deemed complete on February 5, 2016.
- The Public Hearing before the Planning Board was held March 16, 2016 at 6:00 PM in the City Hall Conference Room. Noticing requirements in 24-96(f)(6) have been satisfied.

PUBLIC COMMENT

No comments were heard at the public hearing

REVIEW CRITERIA

The project meets the review criteria in 24-96(g). The following information may be considered as Findings of Fact.

- There is no significant impact to traffic circulation patterns as the Site Trip Generation report included with the application estimates 122 ADT to the facility. The ingress and egress point is a direct access from S. Haynes Ave.
- The maximum height of the proposed structure is 21'-6", well within reach of current Fire Department equipment.
- Emergency access and fire prevention measures will be reviewed by the Miles City Fire Department. A fire hydrant will be located within 250 ft. of the proposed structure.
- The proposed project does not have a significant impact on the surrounding road network. A traffic study is being required for the subdivision review that will determine those impacts. The traffic count estimate will determine construction specifications of the subdivision road.
- Stormwater will be held in a retention pond located north of the proposed structure. Drainage calculations show that an additional 1,588 cubic feet of water will be retained. Required storage is 1,477 cubic feet.
- The property is not located in the flood fringe.
- Water & Sewer services are to be provided with the subdivision approval. Though the property is located in the Custer County Water & Sewer District, the service lines will be connected to City-owned mains. Electrical & communications services are available on site.
- The property is located outside of existing historical districts.
- Parking requirement for this use is 12 spaces, which includes one ADA space. Twenty spaces are provided, including two ADA spaces. Two additional spaces for patient pick-up are provided at the northwest corner of the building.

City Council Staff Report SPR-2016-03 Site Plan Review
Monarch Dental Office
Meeting Date: March 22, 2016

- The use meets all of the General Commercial (GC) zoning code requirements for setbacks, height restrictions, signage, parking standards, and design requirements. The City Building Inspector will review and approve the building design.
- A screened solid waste disposal dumpster is located at the NE corner of the building.
- The proposed use has no significant impacts to neighboring land uses. The site is surrounded by General Commercial zones.
- MCPD found there is little to no additional impact for police services as the project area is located within city limits and currently receives these services.
- The use complies with the City Zoning requirements for land use, height, setbacks, signage and other design requirements.
- The use will not be detrimental to or endanger public health, safety or general welfare as the proposed use is surrounded by compatible uses.
- The existing and reasonably anticipated permitted uses in the area will not be substantially impaired or diminished by the establishment of the proposed use as the project is surrounded by compatible uses.
- Adequate utilities, access ways, drainage, and other necessary site improvements will be provided prior to occupancy.
- A curb cut on Haynes Ave provides ingress and egress via a private road. Traffic impact will be evaluated during the subdivision review.
- No freestanding signage is planned at this time.

RECOMMENDATION:

The Planning Board recommends that City Council adopt this staff report as findings of fact and recommend that the Council grant approval of this project, subject to the following conditions. All conditions shall be met prior to occupancy.

CONDITIONS:

- ❖ Applicant understands that until the subdivision of the neighboring Tract C of the Lothspeich Minor Subdivision has received preliminary approval from City Council, the location of utility main lines is not final and is subject to change. Applicant also understands and accepts any and all responsibility to relocate any utilities constructed on Amended Tract D prior to subdivision preliminary approval, should such approval or conditional approval require the relocation of utilities.
- ❖ Any modification to the approved application and plans that affect building codes, zoning regulations or public facilities shall require additional review by the City of Miles City.
- ❖ The owner shall maintain adequate parking spaces as defined in the 2012 International Building Code.
- ❖ The owner shall comply with all applicable codes in the Miles City Code of Ordinances Section 15 concerning Public Nuisances.
- ❖ The owner or owner's representative shall apply for a building permit prior to start of construction.
- ❖ The water, sewer and other utilities connections shall be approved by the applicable service providers prior to construction.

**City Council Staff Report SPR-2016-03 Site Plan Review
Monarch Dental Office
Meeting Date: March 22, 2016**

- ❖ Any fire department requirements, such as fire hydrants, access plans/improvements, sprinkler systems, firewalls, and other fire code requirements shall be approved by the fire department prior to occupancy.
- ❖ A Certificate of Occupancy is contingent upon the application meeting all conditions of approval.



SITE PLAN REVIEW APPLICATION

Community Services & Planning

City of Miles City 17 S. 8th Street, P.O Box 910 Miles City, MT 59301 406-234-3493

Revenue Code: 10000-341071

File No. SPR-2016-03
(for official use only)

SITE PLAN REVIEW APPLICATION - MILES CITY

Date Received:

RECEIVED FEB 2

Development proposals in the following zones are subject to site plan review:

| | |
|---|--|
| 4-plex and greater | Residential Zones A, B |
| 4 to 8 units | Residential Zones B, C |
| 8 or greater units | Residential Zones C |
| Parks, playgrounds, parking and open space and Accessory uses | Residential Zone C |
| All listed uses | General Commercial (GC), Local Commercial (LC) |
| All listed uses | Industrial (I), Medical Campus (MC) |
| All listed uses (new construction only) | Historic Mixed Use (HMU) |
| Keeping of chickens | All Zones |
| Animal Rescue or Animal Foster Care | Residential Zones A, B, MH-A: Commercial Zones GC, LC, HC; Open Space (OS); Semi-Rural (SR); Agricultural (AG). |

Application Date: 2-4-16

Fee: \$110

Name of Project: Monarch LTD

Location of Project/Legal Description:

Tract D Amended Lot 4 Spec 4 Minor

Subdivision

Contacts

Business Owner Name: Monarch Ltd
Please print

Contact Name: Kevin Button
Please print

Address: Dillon, MT

Phone: 925-2228 Cell Phone: _____ Email: Monarch-Ltd@hotmail.com

FAX 683-3444



SITE PLAN REVIEW APPLICATION

Community Services & Planning

City of Miles City 17 S. 8th Street, P.O. Box 910

Miles City, MT 59301 406-234-3493

RECEIVED FEB 2 4 121.

RECEIVED FEB 2 4 121.

Applicant Name: Quinn Wright/DOWL
(If different from owner)

Circle One Architect/Builder/Engineer/Other

Address: 713 Pleasant St, Miles City, MT59301

Phone: 406-234-6666 Cell Phone: (406)925-2228 Cell Email: qwright@dowl.com

Descriptive Data

Total area in acres: 1.171 ac Existing Zoning: Commercial

Existing and Proposed Use: New dental office

If Residential Number of Units and type of Proposed Units: _____

If Commercial/Industrial Number of Buildings together with Square Footage and Stories/Height of each:

48' X 120 = 5760 sq ft

21'-6" Height

Materials/Information to be submitted with this application (minimum requirements)

*1 Copy of the following:

1. Application form and site plan review fee
2. Vicinity Map showing location of proposed project (8 ½ x 11)
3. (8 ½ x 11) copy of the Site Plan at a suitable scale (example: 1 inch = 10 feet) with the following information:
 - a. Boundary line of property with dimensions and a north arrow indicator
 - b. Topography contours at a minimum interval of 2 feet or as determined by the planning department
 - c. Water bodies, floodplain, and wetlands
 - d. Adjacent streets and street rights-of-ways to a distance of 150 feet from the subject property, including existing and proposed improvements such as curb, gutter, sidewalks, and bike paths
 - e. Parking facilities, including bicycle racks, landscaping, drainage, lighting, handicap-accessible parking, typical dimensions (including labeling angles for angled parking), traffic flow on-site, ingress and egress points, driveways, and paving details
 - f. All existing and proposed structures, including exterior dimensions and setback distances to the



SITE PLAN REVIEW APPLICATION

Community Services & Planning

City of Miles City 17 S. 8th Street, P.O. Box 910 Miles City, MT 59301 406-234-3493

- wall line of all structures
- g. Grading and storm drainage plans and calculations, including any proposed retention walls
 - h. Utilities and utility easements, existing and proposed
 - i. Location of fire hydrants, fire lanes and turnarounds
 - j. Exterior refuse collection areas
 - k. Signage plans (if any)
 - l. Elevation plans or side profiles for structures with dimensions for building heights, including dimension from the top of the roof peak to the average grade at the front of the building.
 - m. An analysis of traffic generation, trip distribution and the impacts of the proposed land use on the transportation facilities serving the area if the proposed land use is estimated to generate 400 or more average daily vehicle trips (ADT), or if requested by the administrator.
4. (8 1/2 x 11) copy of the Landscaping Plan
5. Proposed signage – at a minimum must indicate location and size and an indication of what materials and lighting are proposed. (This may be separate or shown on the site plan and/or bldg elevations)

Property Owner Signature: _____

Date: 1/29/2016

Applicant Signature: _____

(If different from owner)

Date: 2-4-16

*Additional copies of the submittal requirements may be requested by the Zoning Administrator for presentation to the Planning Board members prior to the Public Hearing Meeting.

